

Report to **Planning Committee**
Date **15 November 2017**
By **Head of Planning Services**
Local Authority **Chichester District Council**
Application No. **SDNP/17/02780/FUL**
Applicant **Mr & Mrs C Napier**
Application **Erection of new 3 bedroom detached dwelling following
demolition of the existing dwelling.**
Address **Kimpton Cottage
Durford Wood
Rogate
GU31 5AS**

Recommendation: That the application be Approved for the reasons and subject to the conditions set out in paragraph 10 of this report.

IMPORTANT NOTE: This application is liable for Community Infrastructure Levy.

Executive Summary

Reason for Committee Referral: Parish Objection – Officer Recommends Permit

The proposal seeks planning permission for the replacement of the former gardener's cottage at Kimpton, Durford Wood, Rogate. The gardener's cottage does not have any restrictive planning condition tying it to Kimpton and therefore it is appropriate to consider its replacement under Policy H12 of the Chichester District Local Plan 1999. The proposal is considered to be a well-designed and modest replacement dwelling, reflecting local distinctiveness and the character of the surrounding area. The proposed dwelling is considered to comply with policy H12 and would not result in harm to the landscape character of the surrounding area, the dark night skies of the National Park, residential amenity, biodiversity and trees on site. The proposal is therefore recommended for approval.

1.0 Site Description

- 1.1 Kimpton Cottage is a single storey detached property sited within the wider grounds of Kimpton. The property is of a simple design, with a gable concrete tiled roof and a timber clad exterior. The property is sited to the south of the site, with an agricultural lane to the south and west boundaries and the grounds of Kimpton to the east of the site. The properties within the Durford Wood estate are set in large plots, with some having cottages, such as the property the subject of the current application, within their grounds and which were originally built as service accommodation.

These properties were subject to restrictive covenants preventing separation from the main house. As the need for service accommodation has reduced, the residents association, Durford Wood Landowners Limited let the properties be owned by tenants. In 2014 at a General Meeting of Durford Wood Landowners Limited, followed by a postal vote by shareholders, it was decided that the separation of the cottages from the main house could be permitted. It is noted that the original planning permission for the Durford Wood estate (including Kimpton) did not restrict the service accommodation by planning condition.

2.0 Proposal

- 2.1 The proposal seeks planning permission for the replacement of Kimpton Cottage with a new dwellinghouse. The replacement dwelling would include a single storey half hipped roof form. On the front elevation two half hipped gable projections are proposed with a central porch doorway, within the roofspace on this elevation two rooflights are proposed. On the rear elevation (facing onto the agricultural land) a central first floor gable projection is proposed along with four rooflights within the roofspace.

3.0 Relevant Planning History

RG/7/61 - Erection of cedar bungalow for gardener's cottage - Approved April 1961

4.0 Consultations

4.1 Rogate Parish Council

Rogate Parish Council initially commented stating

'In the absence of a plan showing the footprint/size of the existing dwelling and therefore allowing for comparison to the proposed dwelling Rogate Parish Council felt unable to make a decision on this application.'

Further information on the footprint was provided and the following comments were received:

Rogate Parish Council objects to this application because the scale is significantly larger than the original dwelling and therefore against the policies in the neighbourhood plan.

4.2 WSCC Highways

The proposed units will be accessed from Durford Wood which is a private road. Consequently, these comments are for your advice only.

The site is located within the boundary of West Sussex however the access for such is sited within Hampshire border- therefore WSCC Highways advise that Hampshire Highways team are approached regarding the suitability of this proposal in relation to the access at this location as we do not hold the relevant data.

Currently a two bedroom house exists in this location, this is to be demolished and a three bedroom dwelling erected in place with an office space on the ground floor. The increase in scale of one bedroom is not anticipated to generate a material change in trips within this location.

Refuse collection will continue as existing and provisions for collection have been marked within the plans.

Ample space has been provided for parking and turning within the site. This adheres to the demand outlined within the WSCC parking demand calculator. Based on this consideration no highways safety concerns are raised on the internal layout capacity and parking provisions.

4.3 HCC Landscape Officer

The site is located within Durford Wood, Rogate outside any settlement boundary. The South Downs Integrated Landscape Character Assessment (ICLA) 2011 places the site within Landscape Character Area N Greensand Hills and sub area N1: Blackdown to Petworth Greensand hills.

The settlement pattern in this area is typical of the landscape type (characterised by a high density of dispersed settlement), the proximity of Haslemere and Liphook means this area has seen a spread of smallholdings and detached houses with gardens, particularly in the north of the character area.

The site lies at the southern edge of Durford Wood overlooking the area defined in the ICLA as Landscape Character Area M Sandy Arable Farmland and sub area M1: North Rother Valley Sandy Arable Farmland. Under 'Sensitivities Specific to the North Rother Valley Sandy Arable Farmland', M1.6, the study refers to 'Long views across the Rother Valley resulting from the open character and rolling nature of the landscape.'

In area N1 the ICLA says 'Building materials are typically local sandstone, red brick and clay tiles' and '...Ensure that any built development reflects the local vernacular - resist suburban style garden boundaries, kerbs, and lighting.'

2) Information Required:

i) domestic curtilage of the property is incorrectly shown ii) A survey of existing trees on and immediately adjacent the site needs to be submitted as part of this application. iii) The elevation drawings should show the existing building in outline so that for ease of comparison.

3.0) The Proposal- Assessment of Impacts:

3.1 The development has the potential to have an impact on local views from public rights of way nearby and long views from the lower ground to the south.

While taking advantage of the views southwards the design of the house needs to respect the setting:

i) The scale and the fenestration of the proposed building are of concern

-The amount of glazing and the use roof-lights appears to be at odds with the SDNPA's dark skies policy.

-The number of large openings is a concern also in relation to noise which could have disproportionate impact in this quiet setting

-Any external lighting will need to be kept to a minimum and the subject of a planning condition to approve the detailed design.

ii) The tree protection plan shows the building sitting within 2m of the canopies of two mature oak trees. If the trees on the site are to be properly protected the tree survey referred to above must inform the final positioning of the building. Comprehensive details of tree protection need to be submitted for approval before any work on site commences.

iii) The 'site and landscaping plan' shows driveway and paths very close to the existing trees and a no dig construction will be required in these areas. The areas need to be clearly shown on plan and details of construction submitted before any work on site commences.

iv) Any permission should include the removal of further permitted development rights..

v) A more traditional approach the appearance of the house would be welcomed. locally clay tiles are the norm rather than slate; render is not traditional in this area although careful use of a muted colour would help it sit better in the landscape; using hips on the north side of the roof would avoid the blind upper sections of the gables and help lessen the bulk of the house without reducing floor space internally.

Careful use of colour will greatly help reduce the impact the new building has on the long views from the south. Muted colours have been referred to in the application which is welcomed but we recommend that a detailed schedule of materials together with samples be submitted for approval prior to any work commencing on site.

4) Conclusion:

We make no over-riding objection to the proposals but would like to see some changes to the design submitted and also recommend conditions as outlined above be attached to any permission.

Comments on revised proposals

Red line boundary- my earlier response item 2 i) I believe the boundary for the residential curtilage is smaller than the red line area. See OS

Existing trees - the tree report refers to T9 and T14, both oaks, being removed. The site plan shows them retained, which would be preferable. If they can be kept protection will be needed as both are oaks. As a number of trees are coming out and others including T14 may have a relatively short life expectancy according to the survey replacement planting should be included in the scheme of appropriate native woodland species rather than garden ornamentals. It would help soften views of the new building from the south if some trees could be planted on that side of the building.

Proposed glazing - although the changes to the external appearance are welcomed as generally more traditional in form, there is still a lot of glazing at the lower level on the south facing elevation as well as roof-lights on that side. Both will be seen in long views from the lower ground to the south.

Site layout - We would recommend that detailed planting plans be requested through a condition. Planting should include a deep bed or hedge in front of the retaining wall to the patio, approx. 1.2m high, to ensure that it is screened in long views from the south.

Generally I believe the scheme to be improved and we would make no overall objection to it.

4.4 CDC Environmental Strategy Officer

Bats

The lighting scheme for the site will need to take into consideration the presence of bats in the local area and the scheme should minimise potential impacts to any bats using the trees, hedgerows and buildings by avoiding unnecessary artificial light spill through the use of directional light sources and shielding.

Reptiles

To ensure the site remains unsuitable for reptiles, continued management of the site must take place to ensure reptile habitat does not develop onsite. If this is not possible then a precautionary approach should be taken within the site with regards to reptiles

Nesting Birds

Any works to the trees or vegetation clearance on the site should only be undertaken outside of the bird breeding season which takes place between 1st March ' 1st October. If works are required within this time an ecologist will need to check the site before any works take place (with 24 hours of any work).

5.0 Representations

5.1 No third party comments received.

6.0 Planning Policy Context

6.1 Applications must be determined in accordance with the Development Plan unless material considerations indicate otherwise. The statutory Development Plan for this area is the Chichester District Local Plan First Review (1999). The following documents are also considered to be material considerations in the determination of this application:

- SDNPA Partnership Management Plan 2014
- South Downs National Park Local Plan - Pre-Submission September 2017

The relevant policies to this application are set out in section 7, below.

National Park Purposes

6.2 The two statutory purposes of the SDNP designation are:

- To conserve and enhance the natural beauty, wildlife and cultural heritage,
- To promote opportunities for the public understanding and enjoyment of the special qualities of their areas.

If there is a conflict between these two purposes, conservation takes precedence. There is also a duty to foster the economic and social well-being of the local community in pursuit of these purposes.

7.0 Planning Policy

Relevant Government Planning Policy and Guidance

7.1 Government policy relating to National Parks is set out in English National Parks and the Broads: UK Government Vision and Circular 2010 and The National Planning Policy Framework (NPPF) which was issued and came into effect on 27 March 2012. The Circular and NPPF confirm that National Parks have the highest status of protection and the NPPF states at paragraph 115 that great weight should be given to conserving landscape and scenic beauty in the national parks and that the conservation of wildlife and cultural heritage are important considerations and should also be given great weight in National Parks.

National Planning Policy Framework (NPPF)

7.2 The following sections of the National Planning Policy Framework have been considered in the assessment of this application:

NPPF - Achieving sustainable development
NPPF06 - Delivering a wide choice of high quality homes
NPPF07 - Requiring good design
NPPF11 - Conserving and enhancing the natural environment

7.3 The following paragraphs of the NPPF are considered relevant to the determination of this application:

7, 14, 17, 56, 60, 61, 64, 109, 115, 118.

Chichester District Local Plan First Review 1999

7.4 The development plan policies listed below have been assessed for their compliance with the NPPF and are considered to be compliant with the NPPF:

- RE1 - Development in the Rural Area Generally
- BE11 - New Development
- BE14 - Wildlife Habitat, Trees, Hedges and Other Landscape Features
- H12 - Replacement dwellings and Extensions
- TR6 - Highway Safety

The South Downs Local Plan – Pre-Submission 2017

7.5 The South Downs Local Plan: Pre-Submission Local Plan was published under Regulation 19 of the Town and Country Planning (Local Planning) (England) Regulations 2012 for public consultation between 26th September to 21st November 2017. After this period, the next stage in the plan preparation will be the submission of the Local Plan for independent examination and thereafter adoption. Until this time, the Pre-Submission Local Plan is a material consideration in the assessment of this planning application in accordance with paragraph 216 of the NPPF, which confirms that weight may be given to policies in emerging plans following publication unless other material considerations indicate otherwise. Based on the current stage of preparation, along with the fact that the policies are compliant with the NPPF, the policies within the Pre-Submission Local Plan referenced are currently afforded some weight.

7.6 The following policies of the South Downs National Park Local Plan - Pre-Submission September 2017 are relevant to this application:

- SD1 – Sustainable development
- SD4 – Landscape character
- SD5 - Design
- SD6 – Safeguarding views SD7 – Relative tranquillity
- SD8 - Dark Skies at Night
- SD9 - Biodiversity and Geodiversity
- SD11 - Trees, Woodland and Hedgerows
- SD30 - Replacement dwellings

Partnership Management Plan

- 7.7 The South Downs Partnership Management Plan (SDPMP) was adopted on 3 December 2013. It sets out a Vision and long term Outcomes for the National Park, as well as 5 year Policies and a continually updated Delivery Framework. The SDPMP is a material consideration in planning applications and has some weight pending adoption of the SDNP Local Plan.

The following Policies and Outcomes are of particular relevance to this case:

- General Policy 1
- General Policy 3
- General Policy 28
- General Policy 50

Rogate and Rake Neighbourhood Development Plan

- 7.8 The Rogate and Rake Neighbourhood Development Plan has recently been through its pre-submission consultation stage and as such its policies can only be given limited weight. Policy H4 – Replacement dwellings, annexes and extensions is relevant to this application.

8.0 Planning Assessment

The principle of the replacement of the existing dwelling

- 8.1 The principle of a 1:1 replacement dwelling is considered to be acceptable under Policy H12 of the Chichester District Local Plan 1999. Policy H12 sets out criteria against which proposals for replacement dwellings should be assessed. Proposals would not be acceptable if the replacement dwelling is capable of conversion into more than one dwelling, it detracts from the rural character and appearance of the surrounding area and detracts from the established amenities of adjoining residents. It is noted that the existing dwelling on the site is not considered to be a small dwelling as it has a floor area greater than 90 sq.m and a curtilage greater than 450 sq.m. Therefore any replacement dwelling is not restricted to a 50 percent increase in floor space and the proposal must be judged on its impact on the character and appearance of the surrounding area.

The design of the replacement dwelling and its impact on the character and appearance of the area

- 8.2 The proposed design of the replacement dwelling is considered to be acceptable and will not result in harm to the landscape character of the surrounding area. By being single storey the replacement dwelling would appear as a modest dwelling on the site, not detracting from the wider landscape character of the South Downs National Park. It is noted that it will have a larger footprint than the existing dwelling on the site and it will be approximately 1.2m higher, however given its single storey design and incorporating locally distinctive features such as the half hipped roof form, timber cladding and a tiled roof, it is considered that the building will not read as a dominant or assertive addition within the landscape, thus not detracting from the rural character of the surrounding area and according with Policies H12 and BE11 of the Chichester District Local Plan 1999. Furthermore, the internal layout of the replacement dwelling would not be capable of conversion into more than one dwelling.

- 8.3 During the application process, amendments have been sought including the use of tiles instead of slates, timber cladding instead of render, the reduction of glazing on the southern (rear) elevation and the use of half hips for the gable projections on the front elevation. It is considered that these changes help the building to reflect the local distinctiveness and character of the surrounding area and ensure that it integrates into the landscape.

The single storey design is also considered to be sympathetic and ensures that the building reads as a visually subservient addition within the wider area. Although it is noted that the property will be visible from the PROW which runs to the west and south of the site and from wider vantage points to the south of the site, which faces onto open countryside and beyond the A272, the sympathetic design and character of the building ensures that it does not result in harm to the wider landscape character of the area and reflects the built form of the surrounding area.

- 8.4 In respect of the comments received from the Parish Council regarding the scale of the replacement dwelling being significantly larger than the existing dwelling and against the policies in the neighbourhood plan, the Rogate neighbourhood plan has recently been through a second pre-submission stage and has not yet been formally made. Its policies can therefore only be given limited weight. Nevertheless, policy H4 of the draft Neighbourhood plan is relevant. In respect of this policy it is considered that the replacement dwelling will be of an appropriate scale for the size of the site and, although larger than the existing dwelling it is not considered to be significantly larger. The size of the plot is relatively large and can adequately accommodate the proposed replacement dwelling which would not appear cramped on site. It would retain a single storey form and will not overly dominate the size of the plot. Furthermore, the proposal would not harm residential amenity of neighbouring properties and is of a design that would reflect local distinctiveness and the character of the surrounding area. Given these circumstances the proposal is considered to be an acceptable form of development that will relate well to its surroundings and complies with the requirements of policy H4.

The impact of the replacement dwelling on Dark Night Skies

- 8.5 The level of glazing proposed within the replacement dwelling has been reduced on the south (rear elevation) following discussions with the applicant during the application process and the number of rooflights have also been reduced since pre-application stage. Furthermore, the rooflights are proposed to be fitted with black out blinds.
- 8.6 With regard to the further comments from the Landscape Officer on the application, these are noted however it is considered that the light emissions from the proposal will not be significant to warrant a reason for refusal. The ground floor glazing has been reduced during the application process and the glazing at this level will be obscured by the retention of the hedgerow to the south of the site. With regard to the rooflights, these have also been reduced in number during the application process, the two rooflights that are retained are considered to be small and discreet within the roofspace, and would not result in significant light spillage.

The impact of the development on residential amenity

- 8.7 The replacement dwelling is sited some distance from Kimpton House and there are no other properties in close proximity to the property, therefore it is not considered that the proposal would result in significant harm to the residential amenity of neighbouring properties sufficient to refuse planning permission.

Other matters

- 8.8 A phase one survey has been submitted with the application and this has indicated that no bats are present on site. Therefore the proposal will not result in harm to bats and no further surveys are required.

- 8.9 Access to and from the site will remain as existing, utilising the same access as Kimpton House. Ample parking provision and turning space is proposed on site, therefore the proposal will not result in any highway safety issues.
- 8.10 An arboricultural impact assessment and method statement has been undertaken on the site. For the most part the proposed dwelling will not fall within the root protection area's for the trees on the site, with the exception being an oak tree which is considered to be of poor quality and therefore it is proposed to be felled. A further small oak tree is also proposed to be felled as it has a telegraph pole growing through it. Three Laburnam tree's, two of which are dead and a Lilac tree will also be removed. Adequate mitigation measures are proposed to ensure that the remaining trees on the site are protected during development. The landscape officer raised concerns with the removal of the oak trees, however given their quality and siting (adjacent to a telegraph pole), in this particular circumstance the removal of these trees is considered acceptable. A condition requiring details of further landscaping on the site has been included in the recommendation.

9.0 Conclusion

- 9.1 To conclude, the proposed replacement dwelling is considered to be of an appropriate size, design and scale and accords with Policy H12 of the Chichester District Local Plan 1999. The proposal would not result in harm to the landscape character of the South Downs National Park, the dark night skies of the of the South Downs National Park and residential amenity, therefore the application is recommended for approval.

10.0 Reason for Recommendation and Conditions

It is recommended that the application be Approved for the reasons and subject to the conditions set out below.

1. Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with the provisions of Section 91 (1) of the Town and Country Planning Act 1990 (as amended)./ To comply with Section 51 of the Planning and Compulsory Purchase Act 2004

2. Approved plans

The development hereby permitted shall be carried out in accordance with the plans noted below.

Reason: For the avoidance of doubt and in the interests of proper planning.

3. Agreement of materials

No development shall commence until details, and samples where appropriate, of the following materials to be used in the development have been submitted to and agreed in writing by the SDNPA: cladding, bricks and any other wall facing materials, Brick bonds, Mortar mix and finish, Rain water goods (including their relationship with eaves and verges), tiles and any other roof coverings, including rooflights. Thereafter the development shall be undertaken in full accordance with that agreement unless otherwise agreed in writing by the SDNPA.

Reason: For the avoidance of doubt and in the absence of these important details from the application

4. Tree Protection

No development, including site works of any description, shall take place on the site and before any equipment, machinery or materials are brought onto the site, until all the existing trees or hedges to be retained on the site have been protected by a fence to be approved by the Local Planning Authority erected around each tree or group of vegetation at a radius from the bole or boles of five metres or such distance as may be agreed in writing by the Local Planning Authority. This fencing shall be maintained until all equipment, machinery, surplus materials and soil have been removed from the site. Within the areas so fenced off the existing ground level shall be neither raised nor lowered and no materials, temporary buildings, plant, machinery or surplus soil shall be placed or stored thereon without the prior written approval of the Local Planning Authority. If any trenches for services are required in the fenced off areas they shall be excavated and backfilled by hand and any tree roots encountered with a diameter of 25mm or more shall be left unsevered.

Reason: To ensure the retention and maintenance of trees and vegetation which is an important feature of the area.

5. No Class A PD rights

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order, 2015 (or any Order revoking and re-enacting or amending that Order) no additions to, or extensions or enlargements of, or alterations affecting the external appearance of, the building(s) hereby approved shall be made or erected without a grant of planning permission from the Local Planning Authority.

Reason: To enable the Local Planning Authority to retain control over the enlargements/ alterations of the building(s) in the interests of the proper planning and amenities of the conservation area.

6. No Class E PD rights

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting or amending that Order) no building, or shed, greenhouse or other structure, shall be erected anywhere on the application site unless otherwise agreed in writing by the Local Planning Authority by way of a planning application.

Reason: To enable the Local Planning Authority to retain control over such structures in the interests of the amenities of the area.

7. Landscaping

No development shall take place unless and until there has been submitted to and approved by the Local Planning Authority a scheme of landscaping, which shall include a planting plan and schedule of plants noting species, plant sizes and proposed numbers/densities. In addition all existing trees and hedgerows on the land shall be indicated including details of any to be retained, together with measures for their protection in the course of development. The scheme shall make particular provision for the conservation and enhancement of biodiversity on the application site.

Reason: In the interests of amenity and of the environment of the development and to comply with the Natural Environment and Rural Communities Act 2006.

8. Landscaping implementation

All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the buildings or the completion of the development, whichever is the sooner, and any trees or plants which within a period of five years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the Local Planning Authority gives written consent to any variation.

Reason: In the interests of amenity and of the environment of the development.

9. Hedgerow retention

The hedgerow to the south of the site shall be retained

10. No external lighting

No external lighting shall be installed either on the building or within the site.

Reason: To enable the Local Planning Authority to control the development in detail in the interests of amenity.

11. Blackout Blinds

Roof windows shall be fitted with blackout blinds to avoid any upward light spill and shall be maintained thereafter.

Reason: In order to safeguard this intrinsically dark location in accordance with Policy BE11 of the Local Plan and the emerging Dark Night Skies policy SD9 of the draft South Downs Preferred Options Local Plan 2015.

11.0 Crime and Disorder Implications

11.1 It is considered that the proposal does not raise any crime and disorder implications.

12.0 Human Rights Implications

12.1 This planning application has been considered in light of statute and case law and any interference with an individual's human rights is considered to be proportionate to the aims sought to be realised.

13.0 Equality Act 2010

13.1 Due regard has been taken of the South Downs National Park Authority's equality duty as contained within the Equality Act 2010.

14.0 Proactive Working

14.1 The Local Planning Authority has acted positively and proactively in determining this application by identifying matters of concern within the application (as originally submitted) and negotiating, with the Applicant, acceptable amendments to the proposal to address those concerns.

As a result, the Local Planning Authority has been able to grant planning permission for an acceptable proposal, in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework.

Tim Slaney
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South Downs National Park Authority

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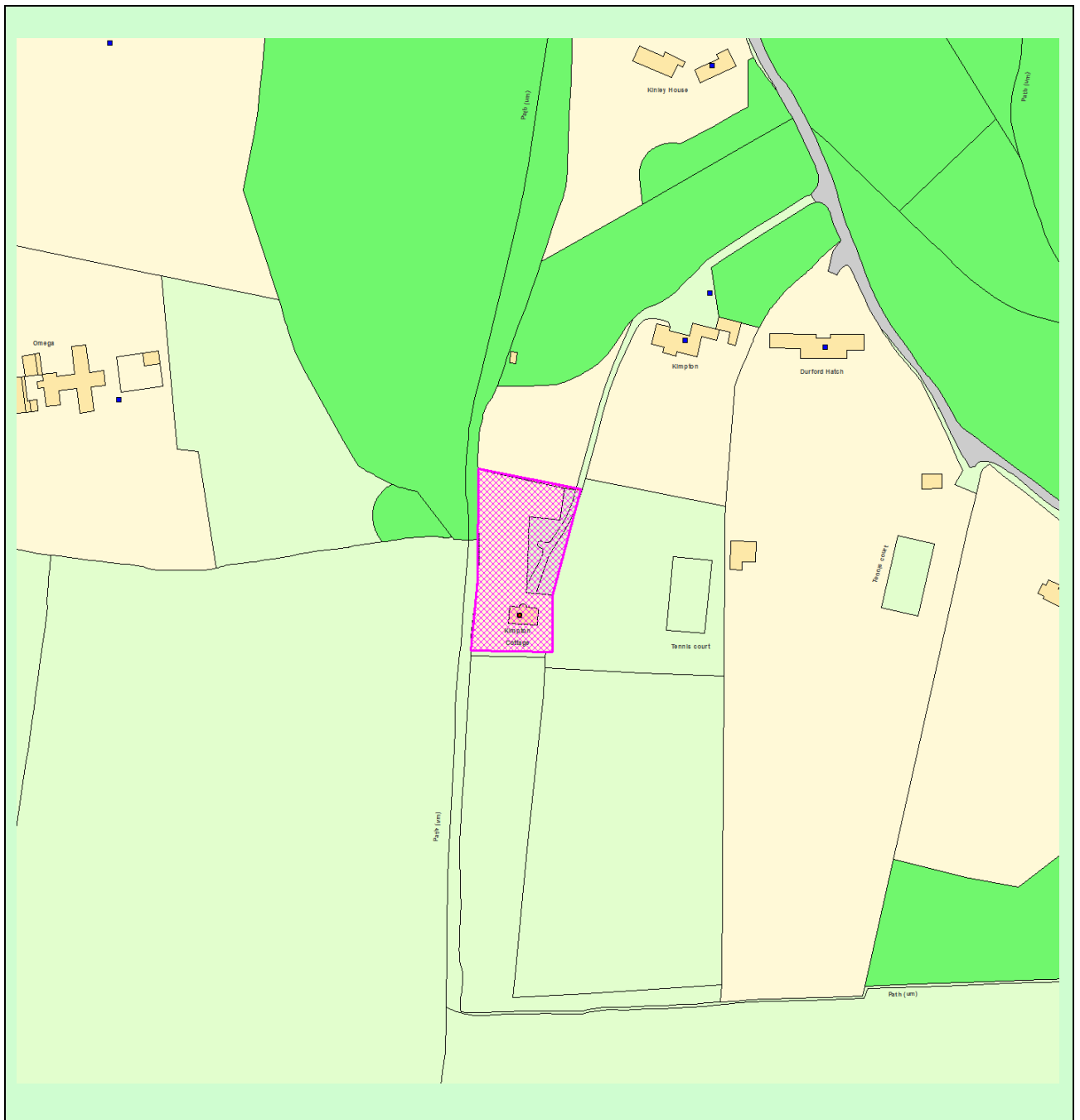
Appendices Appendix 1 - Site Location Map
Appendix 2 – Plans Referred to in Consideration of this Application

SDNPA Consultees

Background Documents

Appendix 1

Site Location Map



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Appendix 2 – Plans Referred to in Consideration of this Application

The application has been assessed and recommendation is made on the basis of the following plans and documents submitted:

Plan Type	Reference	Version	Date on Plan	Status
Plans - Survey Drawing	13846 S1		23.06.2017	Approved
Plans - Ground Floor Plan	16-129/1		23.06.2017	Superseded
Plans - First Floor Plan	16-129/2		23.06.2017	Superseded
Plans - Front and Side Elevations	16-129/3		23.06.2017	Superseded
Plans - SITE LOCATION PLAN	16-129/LP1		23.06.2017	Superseded
Plans - Propsoed Site and Landscaping Plan	16-129/SP1		23.06.2017	Superseded
Plans - Tree Protection Plan	16-129/TPP1		23.06.2017	Approved
Plans - Rear and Side Elevation	16-129/4		23.06.2017	Superseded
Plans - Ground Floor	16-129/1A		08.09.2017	Approved
Plans - Front (north) and side (east) elevations	16-129/3A		08.09.2017	Approved
Plans - Rear (south) and side (west) elevations	16-129/4A		08.09.2017	Superseded
Plans - Proposed site and landscaping plan	16-129/SP1A		08.09.2017	Approved
Plans -	16/129/LP1	A	25.08.2017	Approved
Plans -	16/129/ED3		02.08.2017	Approved
Plans -	16/129/ED2		02.08.2017	Approved
Plans -	16/129/ED1		02.08.2017	Approved
Plans – proposed site plan	16-129/SP1B		18.10.2017	Approved
Plans – proposed first floor plan	16-129/2A		18.10.2017	Approved
Plans – proposed side and rear	16-129/4B		18.10.2017	Approved

Reasons: For the avoidance of doubt and in the interests of proper planning.